



43 Barker Road, Middlesbrough, TS5 5EW Offers in excess of £195,000

Good Move are delighted to present this Four Bedroom Mid-Terrace House to the market.

This beautifully presented family home offers spacious and versatile accommodation arranged over three floors.

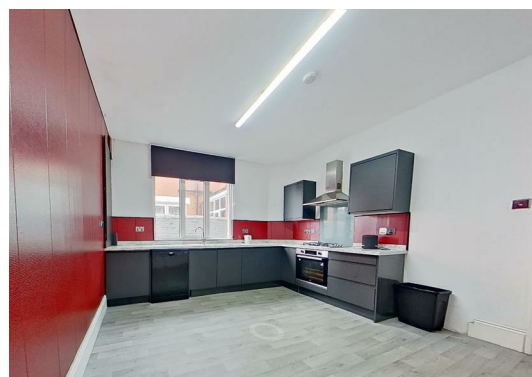
The ground floor features a welcoming hallway, a bright reception room with a beautiful bay window, and a dining room leading into the kitchen, along with a downstairs WC and shower room. Stairs then lead to the first floor which offers four good sized bedrooms and a house bathroom. The second floor boasts a generous loft room with plenty of eaves storage.

Externally, the property benefits from a garage and a generous garden, perfect for outdoor living and entertaining.

Within easy reach of transport links, with the A19 and A66 motorway nearby and bus stops just around the corner, residents of the terrace can also take advantage of many superb local amenities, including schools, some shopping facilities and hospitality establishments.

The property has been attractively priced and we invite all buyers in a position to proceed to view.

Please call for more information.



Disclaimer

- 1. MONEY LAUNDERING REGULATIONS:** Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your co-operation in order that there will be no delay in agreeing the sale.
- 2. General:** While we endeavour to make our sales particulars fair, accurate and reliable, they are only a general guide to the property and, accordingly, if there is any point which is of particular importance to you, please contact the office and we will be pleased to check the position for you, especially if you are contemplating travelling some distance to view the property.
- 3. Measurements:** These approximate room sizes are only intended as general guidance. You must verify the dimensions carefully before ordering carpets or any built-in furniture.
- 4. Services:** Please note we have not tested the services or any of the equipment or appliances in this property, accordingly we strongly advise prospective buyers to commission their own survey or service reports before finalising their offer to purchase.
- 5. THESE PARTICULARS ARE ISSUED IN GOOD FAITH BUT DO NOT CONSTITUTE REPRESENTATIONS OF FACT OR FORM PART OF ANY OFFER OR CONTRACT. THE MATTERS REFERRED TO IN THESE PARTICULARS SHOULD BE INDEPENDENTLY VERIFIED BY PROSPECTIVE BUYERS OR TENANTS. NEITHER GOODMOVE NOR ANY OF ITS EMPLOYEES OR AGENTS HAS ANY AUTHORITY TO MAKE OR GIVE ANY REPRESENTATION OR WARRANTY WHATEVER IN RELATION TO THIS PROPERTY.**

Agents Note

Please note Good Move have not seen confirmation that the loft room has Building Regulation in place and can therefore not be classed as a bedroom.

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
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England & Wales EU Directive 2002/91/EC 		

Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
England & Wales EU Directive 2002/91/EC 		



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